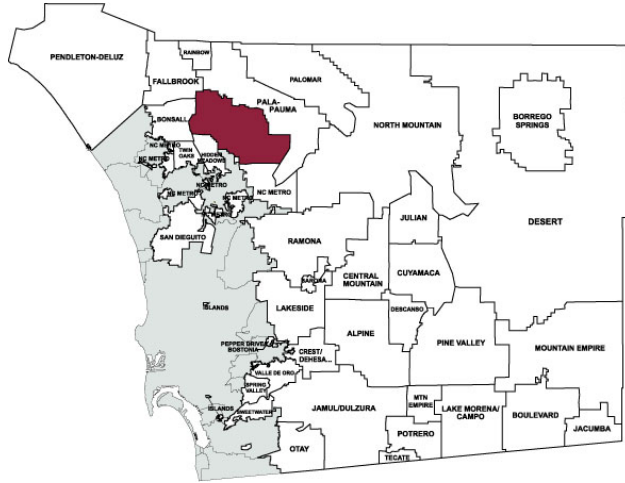


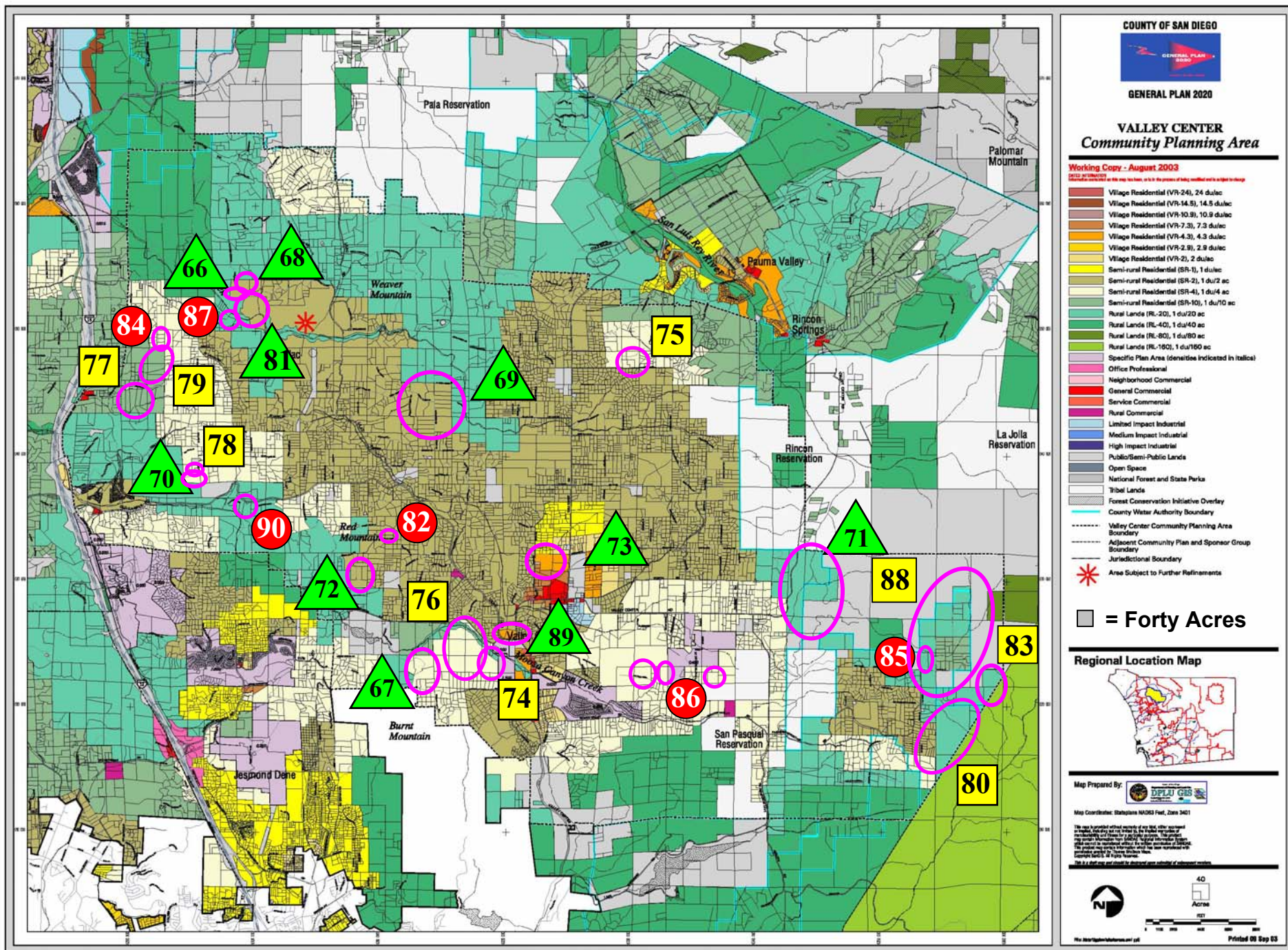
VALLEY CENTER



- 9 referrals meet the GP2020 concepts and planning principles.
- 9 referrals can meet the GP2020 concepts and planning principles if a compromise solution is accepted.
- 6 referrals do not meet the GP2020 concepts and planning principles.

For areas where there was an existing pattern of development, staff concurred with the request to change to Semi-Rural densities. Areas where Semi-Rural parcelization does not currently exist or where environmental constraints are present, staff recommends retaining Rural Lands densities.

Four of the referrals are located in the Upper Hellhole/Paradise Mountain area of eastern Valley Center. All of these referrals have requested Semi-Rural densities; staff recommends that these areas retain the Rural Lands densities of 1 du/20 or 1 du/40 acres based on public safety concerns, infrastructure deficiencies, limited vehicular access, and environmental constraints.



GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
66	<p><i>Paula Ashley (representing Dale Houston and self)</i></p> <p>Inside CWA boundary. Southern end of Calle Oro Verde Road, north of Keys Creek, Lilac area.</p> <ul style="list-style-type: none"> • 21.97 acres • Existing General Plan: 1 du/2,4 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/2 acres</p> <p><u>CPG/CSG:</u> None</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u> AGREE with Referral Semi-Rural: <u>1 du/2 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> – recognizes established context and is similar in size to surrounding parcels • <i>Assign densities based on characteristics of the land</i> – parcels designated as Semi-Rural: <ul style="list-style-type: none"> · Limited environmental constraints; currently used for agricultural purposes · Area located outside of floodplain and sensitive drainage areas of Keys Creek · Area unconstrained by steep slopes • <i>Locate growth near infrastructure, services and jobs</i> – subject parcels all have paved road access and necessary infrastructure
67	<p><i>Richard Petter</i></p> <p>Inside CWA boundary. South of Betsworth Road and Mirar de Valle, southeast of Turner Lake.</p> <ul style="list-style-type: none"> • 92 acres • Existing General Plan: 1 du/2,4 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/4 acres</p> <p><u>CPG/CSG:</u> None</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u> AGREE with Referral Semi-Rural: <u>1 du/4 acres</u></p>	<ul style="list-style-type: none"> • <i>Assign densities based on characteristics of the land</i> – <ul style="list-style-type: none"> · Limited environmental constraints; currently used for agricultural purposes · Area located outside of floodplain and sensitive drainage areas of Moosa Creek · Area unconstrained by steep slopes • <i>Locate growth near infrastructure, services and jobs</i> – proximity to infrastructure • <i>Create a model for community development</i> <ul style="list-style-type: none"> · Provides a transition from the Village to Rural densities

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
68	<p><i>Betty Steinkolk</i></p> <p>Inside CWA boundary. Southern end of Calle Oro Verde Road, north of Keys Creek, adjacent to proposed Rancho Lilac.</p> <ul style="list-style-type: none"> • 21.97 acres • Existing General Plan: 1 du/2,4 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/2 acres</p> <p><u>CPG/CSG:</u> None</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u> AGREE with Referral Semi-Rural: <u>1 du/2 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> – recognizes established context and is similar in size to surrounding parcels • <i>Assign densities based on characteristics of the land</i> – parcels designated as Semi-Rural: <ul style="list-style-type: none"> · Limited environmental constraints; currently used for agricultural purposes · Area located outside of floodplain and sensitive drainage areas of Keys Creek · Area unconstrained by steep slopes • <i>Locate growth near infrastructure, services and jobs</i> – subject parcels all have paved road access and necessary infrastructure
69	<p><i>Jim Chagala</i> (representing Mesa Verde/Mesa Crest Property Owners)</p> <p>Inside CWA boundary. East of the Lilac area and Lilac Road.</p> <ul style="list-style-type: none"> • 239 acres • Existing General Plan: 1 du/10 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/2 acres</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/2 acres</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u> AGREE with Referral Semi-Rural: <u>1 du/2 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> – Semi-Rural density allows for balanced growth consistent with surrounding development pattern • <i>Assign densities based on characteristics of the land</i> – parcels designated as Semi-Rural: <ul style="list-style-type: none"> · Limited environmental constraints; located in an established agricultural area · Outside riparian and biological corridor area • <i>Create a model for community development</i> <ul style="list-style-type: none"> · Provides a logical extension of Semi-Rural densities, without compromising the integrity of an adjacent biological corridor designated Rural Lands · Consistent with existing parcelization in the area • <i>Obtain a broad consensus</i> – consistent with the Planning Group recommendation

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
70	<p><i>Jim Chagala (representing Dyer)</i></p> <p>Inside CWA boundary. North of Old Castle Road, west of Circle R Lane.</p> <ul style="list-style-type: none"> • 22 acres • Existing General Plan: 1 du/4,8,20 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/4 acres</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/4 acres</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u> AGREE with Referral Semi-Rural: <u>1 du/4 acres</u></p>	<ul style="list-style-type: none"> • <i>Assign densities based on characteristics of the land</i> <ul style="list-style-type: none"> · Limited environmental constraints, established agricultural area · Outside riparian and biological corridor area · Not constrained by steep slopes • <i>Obtain a broad consensus</i> – consistent with the Planning Group recommendation
71	<p><i>Jim Chagala (representing Nabers)</i></p> <p>Inside CWA boundary. Eastern Portion of Valley Center Road, adjacent to Pala Pauma planning area.</p> <ul style="list-style-type: none"> • 410 acres • Existing General Plan: 1 du/4,8,20 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/40 acres</p> <p><u>Referral Request:</u> Rural Lands: 1 du/20 acres</p> <p><u>CPG/CSG:</u> Rural Lands: 1 du/20 acres</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u> AGREE with Referral Rural Lands: <u>1 du/20 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> – consistent with the GP2020 Planning Concepts, Land Use Framework, Regional Structure Map, and Regional Land Use Map • <i>Reduce public costs</i> <ul style="list-style-type: none"> · Proximity to infrastructure · Subject parcels all have direct access to a paved County-maintained public road (Valley Center Road) • <i>Obtain a broad consensus</i> – consistent with the Planning Group recommendation
72	<p><i>Charles Froehlich, Jr.</i></p> <p>Inside CWA boundary. Between Sierra Rojo Road and Betsworth Road, north of Turner Lake.</p> <ul style="list-style-type: none"> • 61.72 acres • Existing General Plan: 1 du/2,4 acres 	<p><u>GP2020 Working Copy:</u> Semi-Rural: 1 du/2 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/2 acres</p> <p><u>CPG/CSG:</u> None</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u> AGREE with Referral Semi-Rural: <u>1 du/2 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> <ul style="list-style-type: none"> · Consistent with the GP 2020 Planning Concepts, Land Use Framework, Regional Structure Map, and Regional Land Use Map · Consistent with existing parcelization pattern in the surrounding area • <i>Assign densities based on characteristics of the land</i> <ul style="list-style-type: none"> · Unconstrained by steep slopes · Limited environmental constraints, established agricultural area

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
73	<i>Jim Chagala (representing Weston Communities/Herb Schaffer)</i>			WITHDRAWN BY PROPERTY OWNER
74	<p><i>Jim Chagala (Representing John Debs and Michael McFarland)</i></p> <p>Inside CWA boundary. West of Orchard Run Specific Plan, south of Betsworth Road.</p> <ul style="list-style-type: none"> • 45.15 acres • Existing General Plan: 1 du/2,4 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/2 acres</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/4 acres (with requirement to cluster)</p> <p><u>Planning Commission:</u> Staff recommendation</p>	<p><u>County Staff:</u> COMPROMISE Semi-Rural: <u>1 du/4 acres</u> (areas outside mapped floodplain) Rural Lands: <u>1 du/20 acres</u> (areas within mapped floodplain)</p>	<ul style="list-style-type: none"> • <i>Reduce public costs</i> – subject parcels are located adjacent to southern Village area where infrastructure and services are available or planned • <i>Assign densities based on characteristics of the land</i> <ul style="list-style-type: none"> · Rural Lands density has been retained for the area within the Moosa Creek floodplain · Entire area is located outside of the proposed Pre-approved Mitigation Area; existing agriculture area · Not constrained by steep slopes • <i>Obtain a broad consensus</i> – consistent with the planning group recommendation • <i>Create a model for community development</i> <ul style="list-style-type: none"> · Semi-Rural density provides a transition between the adjacent Orchard Run Specific Plan densities located in the Village · Consistent with adjacent development patterns

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
75	<p><i>Tantlinger Family Trust</i></p> <p>Inside CWA boundary. North and adjacent to Pauma Heights Road in the northeastern portion of the plan area.</p> <ul style="list-style-type: none"> • 35.04 acres • Existing General Plan: 1 du/2,4 acres 	<p><u>GP2020 Working Copy:</u> Semi-Rural: 1 du/10 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/2,4 acres</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/2 acres</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u> COMPROMISE Semi-Rural: <u>1 du/4 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> – consistent with Semi-Rural densities and larger parcelization in the area • <i>Assign densities based on characteristics of the land</i> <ul style="list-style-type: none"> · Subject parcel is not constrained by steep slopes · Surrounding area is primarily agriculture, with limited environmental constraints • <i>Create a model for community development</i> – recommended compromise Semi-Rural density of 1 du/4 acres provides a more consistent development pattern between the Semi-Rural density of 1 du/2 acres located to the south

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
76	<p><i>Thure Stedt</i> (representing Brook Forest)</p> <p>Inside CWA boundary. Between Betsworth Road and Mirar de Valle Road west of Orchard Run Specific Plan. Pipelined TM</p> <ul style="list-style-type: none"> • 226 acres • Existing General Plan: 1 du/2,4 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/4 acres</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/4 acres or Specific Plan Designation</p> <p><u>Planning Commission:</u> Staff recommendation</p>	<p><u>County Staff:</u> COMPROMISE Semi-Rural: <u>1 du/4 acres</u> (areas located outside of mapped floodplain) Rural Lands: <u>1 du/20 acres</u> (areas located within mapped floodplain)</p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> <ul style="list-style-type: none"> · Consistent with the application of Semi-Rural density (1 du/4 acres) for areas not constrained by floodplain (Moosa Creek) · Consistent with adjacent development patterns in the surrounding area • <i>Reduce public costs</i> – subject parcels within close proximity to the southern Village area • <i>Assign densities based on characteristics of the land</i> <ul style="list-style-type: none"> · Subject parcels are generally unconstrained by steep slopes · All mapped floodplain areas are designated with Rural Lands Designation. These areas are generally degraded and are confined to the northern portions of the site • <i>Create a model for community development</i> – Semi-Rural density provides a transition between the subject parcels and the Village densities located to the east • <i>Obtain a broad consensus</i> – consistent with the planning group recommendation
77	<p><i>Mike Fahr</i></p> <p>Inside CWA boundary. South of Nelson Way, east of I-15, western portion of the planning area.</p> <ul style="list-style-type: none"> • 75.99 acres • Existing General Plan: 1 du/2 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/2 acres</p> <p><u>CPG/CSG:</u> None</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u> COMPROMISE Semi-Rural: <u>1 du/10 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> <ul style="list-style-type: none"> · Consistent with existing parcelization in the area · Consistent with densities applied to the County's most productive agricultural areas along Bonsall/Valley Center boundaries • <i>Create a model for community development</i> – provides a transition of densities and a more coherent development pattern

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
78	<p><i>Hadley Johnson (representing AVONWICK LLC and Jennifer Hom)</i></p> <p>Inside CWA boundary. South of Circle R Drive and west of Circle R Lane in western portion of planning area. Pipelined TPM.</p> <ul style="list-style-type: none"> • 12.03 acres • Existing General Plan: 1 du/2,4 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/2 acres</p> <p><u>CPG/CSG:</u> None</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u> COMPROMISE Semi-Rural: <u>1 du/4 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> <ul style="list-style-type: none"> · Consistent with existing parcelization in the area · Consistent with densities applied to the County's most productive agricultural areas along Bonsall/Valley Center boundaries • <i>Create a model for community development</i> <ul style="list-style-type: none"> · Provides a transition of densities and assists in facilitating a more coherent development pattern compatible with site constraints · Requested density would create an isolated pocket of 1 du/2 acres in a larger area designated as 1 du/4 acres
79	<p><i>Jim Chagala (representing Pardee)</i></p> <p>Inside CWA boundary. Between Covey Lane and Nelson Way, western portion of planning area.</p> <ul style="list-style-type: none"> • 79 acres • Existing General Plan: 1 du/2 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/4 acres</p> <p><u>CPG/CSG:</u> None</p> <p><u>Planning Commission:</u> Staff recommendation</p>	<p><u>County Staff:</u> COMPROMISE Semi-Rural: <u>1 du/10 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> <ul style="list-style-type: none"> · Compromise recommendation is consistent with existing parcelization in the area · Consistent with densities applied to the County's most productive agricultural areas along Bonsall/Valley Center boundaries • <i>Create a model for community development</i> – provides a transition of densities and a more coherent development pattern

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
80	<p><i>Bill Fisher</i></p> <p>Inside CWA boundary. Adjacent to Gueijito Ranch, Paradise Mountain area.</p> <ul style="list-style-type: none"> • 250 acres • Existing General Plan: 1 du/4,8,20 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/40 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/4 acres</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/4 acres</p> <p><u>Planning Commission:</u> 1 du/10 acres</p>	<p><u>County Staff:</u> COMPROMISE Rural Lands: <u>1 du/20 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> – consistent with the GP2020 Planning Concepts, Land Use Framework, Regional Structure Map, and Regional Land Use Distribution Map • <i>Reduce public costs</i> <ul style="list-style-type: none"> · Referral request would extend Semi-Rural densities further east in the Paradise Mountain area requiring increased public services · Deficient infrastructure and public safety concerns support Rural Lands designation • <i>Assign densities based on characteristics of the land</i> <ul style="list-style-type: none"> · Located within a remote area of eastern Valley Center with limited road access · Abuts the Rancho Guejitio (potential edge effects from residential development) • <i>Create a model for community development</i> – requested Semi-Rural density would spread growth into an area that is designated Rural Lands

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
81	<p><i>Louis Wolfsheimer (Rancho Lilac)</i></p> <p>Inside CWA boundary. West of Lilac Road, bisected by Keys Creek, part of proposed Rancho Lilac Specific Plan.</p> <p>Pipelined PAA</p> <ul style="list-style-type: none"> • 96.74 acres • Existing General Plan: Specific Plan (0.25) 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/2 acres</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/4 acres</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u></p> <p>AGREE with Referral</p> <p>Semi-Rural: <u>1 du/2 acres</u> (areas outside 100-year floodplain)</p> <p>Rural Lands: <u>1 du/20 acres</u> (areas within floodplain)</p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> – consistent with the GP2020 Planning Concepts, Land Use Framework, Regional Structure Map, and Regional Land Use Distribution Map • <i>Assign densities based on characteristics of the land</i> <ul style="list-style-type: none"> · Majority of area unconstrained by steep slopes · Majority of area located outside of mapped floodplain and critical drainage areas · All mapped floodplain areas will be placed in the Rural Lands Designation · Continuity of the Keyes Creek biological corridor will be retained • <i>Balance competing interests</i> – the property owner, community and staff are in general agreement with the split densities of 1 du/2 acres and 1 du/20 acres
82	<p><i>Todd Ruth</i></p> <p>Inside CWA boundary. North of Betsworth and El Retiro Road.</p> <ul style="list-style-type: none"> • 12 acres • Existing General Plan: 1 du/2,4 acres 	<p><u>GP2020 Working Copy:</u> Semi-Rural: 1 du/2 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/10 acres Rural Lands: 1 du/20 acres</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/10 acres Rural Lands: 1 du/20 acres</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u></p> <p>DISAGREE with Referral</p> <p>Retain Semi-Rural: <u>1 du/2 acres</u></p>	<ul style="list-style-type: none"> • <i>Create a model for community development</i> – referral request would produce an isolated pocket of Rural Lands density in an area designated as Semi-Rural

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
83	<p><i>Thure Stedt</i> (representing Virginia Leishman)</p> <p>Outside CWA boundary. Southeastern portion of the planning area (Paradise Mountain).</p> <ul style="list-style-type: none"> • 55.95 acres • Existing General Plan: 1 du/4,8,20 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/40 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/4 acres</p> <p><u>CPG/CSG:</u> None</p> <p><u>Planning Commission:</u> 1 du/20 acres</p>	<p><u>County Staff:</u> COMPROMISE Rural Lands: <u>1 du/20 acres</u> (revised after consideration of Planning Commission recommendation)</p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible plan</i> – consistent with GP2020 Planning Concepts, Land Use Framework, Regional Structure Map and the Regional Land Use Distribution Map • <i>Reduce public costs</i> – retain Rural Lands designation due to: <ul style="list-style-type: none"> · Outside CWA boundary · Subject parcels are located in a remote area that has limited infrastructure, limited road access, and would require an extension of essential public services (i.e. law enforcement, fire protection, and emergency services) · Public safety concerns regarding lack of reliable secondary egress road in the event of major emergency or wildfire • <i>Assign densities based on characteristics of the land</i> <ul style="list-style-type: none"> · Entire area located within proposed North County MSCP Preapproved Mitigation Area · Proximity to Hellhole Canyon Preserve and Rancho Guejito (potential edge effects from residential development) · Hellhole Canyon is a critical and unique biological resource for Valley Center and the San Diego region • <i>Create a model for community development</i> – requested Semi-Rural density would spread growth into an area that is designated Rural Lands

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
84	<p><i>Thure Stedt</i> (representing Jackson-Burgener Properties)</p> <p>Inside CWA boundary. South of Covey Lane in western portion of planning area.</p> <ul style="list-style-type: none"> • 20 acres • Existing General Plan: 1 du/2,4 acres 	<p><u>GP2020 Working Copy:</u> Semi-Rural: 1 du/4 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/2 acres</p> <p><u>CPG/CSG:</u> None</p> <p><u>Planning Commission:</u> Staff recommendation</p>	<p><u>County Staff:</u> DISAGREE with Referral Retain Semi-Rural: <u>1 du/4 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible plan</i> – consistent with GP2020 Planning Concepts, Land Use Framework, Regional Structure Map and the Regional Land Use Distribution Map • <i>Create a model for community development</i> – referral request would create an isolated pocket of 1 du/2 acres in a larger area designated with Semi-Rural densities of 1 du/4 acres

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
85	<p><i>Michelle Chiaro</i></p> <p>Inside CWA boundary. West of Hell Creek Road, Hellhole Canyon Preserve area, northern portion of Kiavo Road.</p> <ul style="list-style-type: none"> • 19.92 acres • Existing General Plan: 1 du/4,8,20 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/4 acres Semi-Rural: 1 du/10 acres</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/4 acres</p> <p><u>Planning Commission:</u> 1 du/10 acres</p>	<p><u>County Staff:</u> DISAGREE with Referral Retain Rural Lands: <u>1 du/20 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible plan</i> – consistent with GP2020 Planning Concepts, Land Use Framework, Regional Structure Map and the Regional Land Use Distribution Map • <i>Reduce public costs</i> – retain Rural Lands designation due to: <ul style="list-style-type: none"> · Remote area physically removed from established Village areas · Density increases should be directed toward Village areas • <i>Assign densities based on characteristics of the land</i> <ul style="list-style-type: none"> · Entire area located within proposed North County MSCP Preapproved Mitigation Area · Proximity to Hellhole Canyon Preserve · Hellhole Canyon is a critical and unique biological resource for Valley Center and the San Diego region · Limited road access that crosses a drainage area · Public safety concerns and evacuation of residents problematic due to lack of reliable secondary egress road in the event of major emergency or wildfire • <i>Create a model for community development</i> <ul style="list-style-type: none"> · Requested Semi-Rural density would spread growth into an area that is designated Rural Lands · Rural Lands 1 du/20 acres density is consistent with existing parcelization

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
86	<p><i>Thure Stedt</i> (representing <i>Stewart Lynch</i>)</p> <p>Inside CWA boundary. Between Woods Valley and Valley Center Roads, west of Live Oak Ranch.</p> <ul style="list-style-type: none"> • 63.44 acres • Existing General Plan: 1 du/2,4 acres 	<p><u>GP2020 Working Copy:</u> Semi-Rural: 1 du/4 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/2 acres</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/4 acres</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u> DISAGREE with referral Retain Semi-Rural: <u>1 du/4 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible general plan</i> <ul style="list-style-type: none"> · Consistent with GP 2020 Planning Concepts, Land Use Framework, Regional Structure Map and the Regional Land Use Distribution Map · Consistent with adjacent development patterns · Provides a logical transition between Village densities to the west and Rural Lands densities to the south • <i>Create a model for community development</i> <ul style="list-style-type: none"> · Referral would produce an isolated pocket of 1 du/2 acres densities in an area designated 1 du/4 acres · Referral request is not consistent with parcelization in the surrounding area, which ranges from 4 to 20-acres in size · Semi-Rural density of 1 du/4 acres provides a buffer between approved higher densities for Woods Valley Ranch (0.62 du/acre) and Live Oak Ranch (0.46) located to the west and east respectively

GENERAL PLAN 2020 RESIDENTIAL REFERRALS

REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
87	<p><i>Thure Stedt</i> (representing Stewart Lynch)</p> <p>Inside CWA boundary. East of I-15, off West Lilac and Running Creek Roads.</p> <ul style="list-style-type: none"> • 12.60 acres • Existing General Plan: SPA 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/2 acres</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/4 acres</p> <p><u>Planning Commission:</u> Staff recommendation</p>	<p><u>County Staff:</u> DISAGREE with Referral Retain Rural Lands: <u>1 du/20 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible plan</i> – consistent with GP 2020 Planning Concepts, Land Use Framework, Regional Structure Map and the Regional Land Use Distribution Map • <i>Assign densities based on characteristics of the land</i> <ul style="list-style-type: none"> · Entire area located within proposed North County MSCP Preapproved Mitigation Area · Located near sensitive drainage area for Keys Creek • <i>Create a model for community development</i> – referral would produce an isolated pocket of Semi-Rural density in an area designated Rural Lands

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88	<p><i>Deirdre Casparian and Joseph Tanalski (representing United Landowners of Upper Hellhole Canyon)</i></p> <p>Inside CWA boundary. Adjacent to and south of the Hellhole Canyon Preserve.</p> <ul style="list-style-type: none"> Approximately 320 acres Existing General Plan: 1 du/4,8,20 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/40 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/4 acres or 1 du/10 acres</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/4 acres</p> <p><u>Planning Commission:</u> 1 du/40 acres (northern portion) 1 du/20 acres (southern portion)</p>	<p><u>County Staff:</u> COMPROMISE Retain Rural Lands for Upper Hellhole region: <u>1 du/20 acres</u></p> <p>(revised after consideration of Planning Commission recommendation)</p>	<ul style="list-style-type: none"> <i>Develop a legally defensible plan</i> – consistent with GP2020 Planning Concepts, Land Use Framework, Regional Structure Map and the Regional Land Use Distribution Map <i>Reduce public costs</i> – retain Rural Lands designation due to: <ul style="list-style-type: none"> Area is remote with limited infrastructure and road access, and would require an extension of essential public services (i.e.: law enforcement, fire protection, and emergency medical) <i>Assign densities based on characteristics of the land</i> <ul style="list-style-type: none"> Upper Hellhole is surrounded on three sides by public/semi-public lands Entire area located within proposed North County MSCP Preapproved Mitigation Area Proximity to Hellhole Canyon Preserve and Rancho Guejito (potential edge effects from residential development) Hellhole Canyon is a critical and unique biological resource for Valley Center and the San Diego region Limited road access that crosses a drainage area Public safety concerns and evacuation of residents problematic due to lack of reliable secondary egress road in the event of major emergency or wildfire <i>Create a model for community development</i> – requested Semi-Rural density would spread growth into an area designated as Rural Lands

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89	<p><i>Ruth Stockslager (Valley Center Oaks Partnership)</i></p> <p>Inside CWA boundary. Northwest intersection of Valley Center and Lilac Roads.</p> <ul style="list-style-type: none"> • 32.28 acres • Existing General Plan: 1 du/acre and 1 du/2,4 acres 	<p><u>GP2020 Working Copy:</u> Village: 4.3 du/acre Semi-Rural: 1 du/2 acres</p> <p><u>Referral Request:</u> Village: 4.3 du/acre (southern portion) Semi-Rural: 1 du/2 acres (northern portion)</p> <p><u>CPG/CSG:</u> Semi-Rural: 1 du/2 acres or Public/Semi-Public</p> <p><u>Planning Commission:</u> Staff recommendation</p>	<p><u>County Staff:</u> AGREE with Referral Village: <u>4.3 du/acre</u> (southern portion) Semi-Rural: <u>1 du/2 acres</u> (northern portion)</p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible plan</i> – consistent with GP2020 Planning Concepts, Land Use Framework, Regional Structure Map and the Regional Land Use Distribution Map • <i>Improve housing affordability</i> – 4.3 du/acre density could provide an opportunity for multi-family development near existing services and facilities • <i>Assign densities based on characteristics of the land</i> – environmentally sensitive areas located in the northern portion (drainage areas and archeological areas) assigned Semi-Rural designation • <i>Locate growth near infrastructure, services and jobs</i> <ul style="list-style-type: none"> · Subject parcels located adjacent to and across the street from the southern Village node · Proximity to infrastructure • <i>Create a model for community development</i> – recommended Village Residential and Semi-Rural densities provide a coherent land development pattern

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REF	PROPERTY	DENSITY RECOMMENDATIONS		STAFF RATIONALE
90	<p><i>Robert Baynton</i></p> <p>Inside CWA boundary. South of Old Castle Road and east of Castle Creek Golf Course.</p> <ul style="list-style-type: none"> • 35.6 acres • Existing General Plan: 1 du/4,8,20 acres 	<p><u>GP2020 Working Copy:</u> Rural Lands: 1 du/20 acres</p> <p><u>Referral Request:</u> Semi-Rural: 1 du/4 acres</p> <p><u>CPG/CSG:</u> None</p> <p><u>Planning Commission:</u> Staff Recommendation</p>	<p><u>County Staff:</u> DISAGREE with referral Retain Rural Lands: <u>1 du/20 acres</u></p>	<ul style="list-style-type: none"> • <i>Develop a legally defensible plan</i> – consistent with GP2020 Planning Concepts, Land Use Framework, Regional Structure Map and the Regional Land Use Distribution Map • <i>Assign densities based on characteristics of the land</i> <ul style="list-style-type: none"> · Referral area is located in the middle of a large biological corridor that is critical to the proposed North County MSCP · Majority of referral area is constrained by steep slopes (greater than 25%) • <i>Create a model for community development</i> <ul style="list-style-type: none"> · Referral would produce an isolated pocket of Semi-Rural densities in an area designated Rural Lands · Referral request is not consistent with parcelization in the surrounding area

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